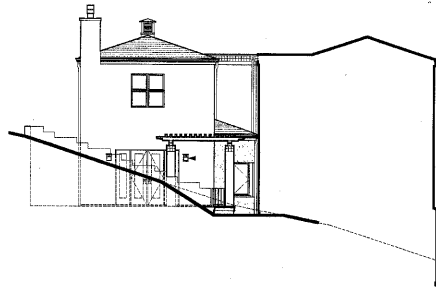


ABBREVIATIONS

A.B.	ANCHOR BOLT	(E)	EXISTING	HDR	HEADER	R	RISER
ABV	ABOVE	E	EAST	HNDRL	HANDRAIL	R	RETURN
ACOUS.	ACOUSTICAL	EA	EACH	HT	HEIGHT	REBAR	REINFORCING BAR
A.D.	AREA DRAIN	E.B.	EXISTING GRADE	H.W.	HOT WATER	REQD	REQUIRED
ADA	AMERICANS W/ DIS. ACT	EL.	ELEVATION	I.D.	INSIDE DIAMETER	RM	ROOM
A.F.F.	ABOVE FINISH FLOOR	ELEC.	ELECTRICAL	IND.	INCANDESCENT	R.O.	ROUGH OPENING
EMER	EMERGENCY	EMER	EMERGENCY	INFO.	INFORMATION	S.	SOUTH
EQ.	EQUAL	EXT.	EXTERIOR	INSUL.	INSULATION	S.C.	SOLID CORE
ARCH.	ARCHITECTURAL	F.A.	FIRE ALARM	INT.	INTERIOR	S.M.	SIMILAR
BD	BOARD	F.D.	FLOOR DRAIN	JAN	JANITOR	SIP	STRUCTURAL INSULATED
BLDG	BUILDING	FDN.	FOUNDATION	JH.	JOIST HANGER	PANEL	PANEL
BLK	BLOCK	F.E.	FIRE EXTINGUISHER	JT.	JOINT	SPEC.	SPECIFICATION
BLKG	BLOCKING	F.E.C.	FIRE EXTINGUISHER CABIN	LAV.	LAVATORY	S.Q.	SQUARE
BM	BEAM	F.F.	FINISH FLOOR	LAV.	LAVATORY	S.S.D.	SEE STRUCTURAL DRAWINGS
BOT.	BOTTOM	FIN.	FINISH	MAX.	MAXIMUM	STL.	STEEL
BW	BOTTOM OF WALL	FLASH.	FLASHING	M.B.	MACHINE BOLT	T.A.B	TOP AND BOTTOM
CL	CENTER LINE	FLOOR	FLUORESCENT	MECH	MECHANICAL	T.A.G	TONGUE AND GROOVE
CJT	CONTROL JOINT	F.O.C.	FACE OF CONCRETE	MFR.	MANUFACTURER	T.O.P.	TOP OF PLATE
CLG	CEILING	F.O.F.	FACE OF FINISH	MIN.	MINIMUM	T.O.S.	TOP OF SLAB
CLR.	CLEAR	F.O.S.	FACE OF STUD	MIR.	MIRROR	T.O.W.	TOP OF WALL
CO.	CLEAN OUT	FT.	FOOT OR FEET	MISC.	MISCELLANEOUS	TYP.	TYPICAL
COL.	COLUMN	FTG.	FOOTING	MTC.	MOUNTED	U.O.N	UNLESS OTHERWISE NOTED
CONC.	CONCRETE	FURN.	FURNISHING	N	NORTH	V.I.F.	VERIFY IN FIELD
G.T.	CERAMIC TILE	FUT.	FUTURE	N.I.C	NOT IN CONTRACT	VTR	VENT TO ROOF
C.W.	COLD WATER	G.	GAS	NO. OF	NUMBER		
		GA.	GUIDE	N.T.S.	NOT TO SCALE		
DBL.	DRINKLINE	GALV.	GALVANIZED	O.V.	OVER	W.	WITH
DEPT.	DEPARTMENT	G.B.	GRAB BAR	O.C.	ON CENTER	WD.	WOOD
DET.	DETAIL	GND.	GROUND	O.D.	OUTSIDE DIAMETER		
D.F.	DOUBLE FIR	GSM.	GYP	PL.	PLATE		
DIA.	DIAMETER	GYM.	GYP	PLY.	PLYWOOD		
DM.	DIMENSION	H.C.	HOLE CORE	P.T.R	PRESSURE TREATED		
D.N.	DOWN	H.C.	HOSE BIB	P.T.R	PRESSURE TREATED		
DS	DOWNPOUT	H.C.	HOSE BIB	P.T.R	PRESSURE TREATED		
D.S.T.	DRY STANDPIPE	H.C.	HOSE BIB	P.T.R	PRESSURE TREATED		
DWG.	DRAWING	HC	HANDICAPPED	P.T.R	PRESSURE TREATED		



APPROVED
 BUILDING DIVISION • CITY OF SAN LUIS OBISPO
 THIS PLAN TO BE KEPT ON THE JOB AT ALL TIMES
 CALL FOR INSPECTIONS AT LEAST ONE
 WORKING DAY IN ADVANCE 781-7180
 Plans shall not be changed or altered without authorization from
 the Building and Safety Division. Approval of plans shall not
 be construed to be a permit for, or an approval of, any
 violation of any city ordinance or state law.

ROCKVIEW CLOSE LOT 9

SCHEDULE OF CHANGES

- 156404 PLAN CHECK / BID SET
- 051804 BUILDING DEPARTMENT PLAN CHECK

NOTE:

PRIOR TO THE CONTRACTOR REQUESTING BLDG. DEPT. FOUNDATION INSPECTION. THE SOILS ENGINEER SHALL ADVISE THE BUILDING OFFICIAL IN WRITING THAT THE BUILDING PAD WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE PROJECT SOILS REPORT.

NOTE:

COORDINATION OF SITE AND BUILDING RETAINING WALLS @ INTERSECTIONS AND TRANSITIONS, INCLUDING FOOTING PLACEMENT AND FOOTING DESIGNS, SHALL BE DETERMINED BY OWNER/CONTRACTOR PRIOR TO PLACEMENT AND IN ACCORDANCE TO THE PROPOSED AND APPROVED PLANS AND DETAILS

DEFERRED SUBMITTALS:

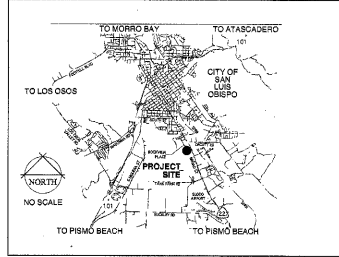
DRAWINGS AND CALCULATIONS FOR ROOF TRUSSES SHALL BE SUBMITTED TO AND APPROVED BY BUILDING DEPARTMENT PRIOR TO INSTALLATION.

LANDSCAPE IRRIGATION LAYOUT AND DESIGN DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE CITY OF SAN LUIS OBISPO PLANNING DEPARTMENT PRIOR TO INSTALLATION.

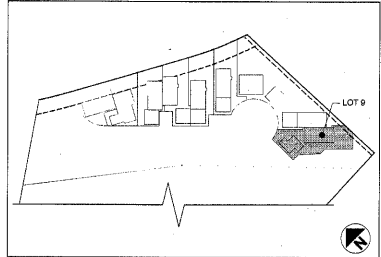
PROJECT SOILS REPORT:

REFER TO SHEET C-2.1 FOR FOUNDATION RECOMMENDATIONS AND TO THE SOILS ENGINEERING REPORT PREPARED BY EARTH SYSTEMS PACIFIC. PHONE# 544.3276, REPORT #SL-13299-SA ON FILE IN THE ARCHITECT'S OFFICE FOR ADDITIONAL INFORMATION

VICINITY MAP



VICINITY MAP



BUILDING STATISTICS

	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6	LOT 7	LOT 8	LOT 9	LOT 10	LOT 11	TOTAL
LOT AREA (SQ. FT.)	2543	2875.8	2892	3230	3552	3385	5589	3527	9705	31874	129327	162679.8
PROPOSED LIVING SPACE												
LOWER FLOOR	488.7	63.7	390.11	391.82	369.02	367.92	665.73	0	0			3107
UPPER FLOOR	865.96	0	790.91	797	798.62	802.64	864.36	842.28	837.37			7730.69
TOTAL LIVING (SF)	1354.56	1225.43	1909.18	1621.22	1685.7	1688.62	1930.11	1764.31	1612.97	0	0	16899.2
PROPOSED GARAGE/MECH.												
LOWER FLOOR	482.7	478.3	0	0	0	0	19.43	0	0			950.43
MAIN FLOOR	0	0	438.09	446.89	439.8	435.49	431.4	438.76	535			3164.43
UPPER FLOOR	0	0	0	0	0	0	0	0	0			0
TOTAL GARAGE/MECH. (SF)	482.7	478.3	438.09	446.89	439.8	435.49	430.83	438.76	535	0	0	4124.65
TOTAL UNIT AREA	1817.36	1703.73	2345.27	2088.11	2325.5	2324.11	2280.94	2201.07	2347.97	0	0	19414.06
PROPOSED EXT. DECK/BALCONY	345.58	244.75	346.64	393.58	290.38	191.84	248.76	248.76	770.92			3093.9
PROPOSED CRAWLSPACE	2	188.17	788.77	683.74	694.34	699.52	377.89					3339.47
PROPOSED BEDROOMS	2	2	2	2	2	2	2	2	2	0	0	18
PROPOSED BATHROOMS	2	2	3	3	3	3	3	3	3	0	0	25

AGENCIES & UTILITIES

- CITY OF SAN LUIS OBISPO**
COMMUNITY DEVELOPMENT DEPARTMENT
890 PALM STREET
SAN LUIS OBISPO, CA 93401
805-781-7172
- COUNTY HEALTH**
P.O. BOX 1486, SLO
805-781-8900
- SLO POLICE DEPT.**
1043 WALNUT
SAN LUIS OBISPO, CA
805-781-7317
- SLO FIRE DEPARTMENT**
2100 SANTA BARBARA
SAN LUIS OBISPO, CA
805-781-7350
- PACIFIC BELL**
190 SUBALAN ROAD
SAN LUIS OBISPO, CA
805-546-7032
- THE GAS COMPANY**
833 MARSH STREET
SAN LUIS OBISPO, CA
- UNDERGROUND SERVICES**
1-800-642-8444
- PG & E**
405 HUIEPERA STREET
SAN LUIS OBISPO, CA
805-546-9210
- SEWER**
CITY OF SAN LUIS OBISPO
- CHARTER COMMUNICATIONS**
270 BROUKE STREET
SAN LUIS OBISPO, CA
805-544-2999
- SCHOOL DISTRICT**
SAN LUIS COASTAL UNIFIED

PARKING

	COVERED	UNCOVERED	TOTAL
RESIDENT	18		18
GUEST		6	6
TOTAL PARKING	18	6	24

SHEET INDEX

- T-1.0 TITLE SHEET
- T-1.1 TITLE 24 ENERGY COMPLIANCE
- T-1.2 GENERAL NOTES
- T-1.3 CONDITIONS OF APPROVAL
- CIVIL
- 01 TITLE & GENERAL NOTES SHEET
- 02 GRADING & DRAINAGE PLAN
- 03 GRADING & DRAINAGE PLAN
- 04 WALL PROFILES
- 05 WALL PROFILES
- 06 WALL PROFILES
- 07 SECTION CUTS
- 08 SECTION CUTS & DETAILS
- 09 DETAILS
- 09.1 COMPOSITE UTILITY PLAN
- 8-1.1 GENERAL STRUCTURAL NOTES
- 8-1.2 GENERAL STRUCTURAL NOTES & STAIR DETAIL
- 8-1.3 TYPICAL WALL DETAILS
- 8-2.0 RETAINING WALL SECTIONS
- 8-2.1 RETAINING WALL SECTIONS
- 8-2.2 RETAINING WALL SECTIONS
- 8-2.3 RETAINING WALL SECTIONS
- 8-2.4 RETAINING WALL SECTIONS
- 8-2.5 RETAINING WALL SECTIONS
- SITE
- C-0.0 OVERALL SITE PLAN
- C-1.0 SITE PLAN
- C-1.1 INDIVIDUAL LOT SITE & GRADING PLAN
- C-2.1 SOILS REPORT AND RECOMMENDATIONS
- C-3.0 DRAINAGE EROSION PLAN
- C-4.0 UTILITY PLAN
- C-5.0 WALL PLAN
- C-6.0 SITE DETAILS
- ARCHITECTURAL
- A-1.1 DIMENSIONAL PLAN-MAIN FLOOR
- A-1.2 DIMENSIONAL PLAN-UPPER FLOOR
- A-2.1 FLOOR PLAN-MAIN FLOOR
- A-2.2 FLOOR PLAN-UPPER FLOOR
- A-3.0 DOOR AND WINDOW SCHEDULES
- A-7.0 ROOF PLAN
- A-8.0 SECTIONS
- A-8.0 EXTERIOR ELEVATIONS
- A-8.1 EXTERIOR ELEVATIONS
- A-8.2 EXTERIOR ELEVATIONS
- A-10.0 ARCHITECTURAL DETAILS
- A-10.1 ARCHITECTURAL DETAILS
- A-10.2 ARCHITECTURAL DETAILS
- MECHANICAL/ELECTRICAL/PLUMBING
- E-1.1 M.E.P. PLAN-MAIN FLOOR
- E-1.2 M.E.P. PLAN-UPPER FLOOR
- STRUCTURAL
- S1 GENERAL STRUCTURAL NOTES & SCHEDULES
- S2 FOUNDATION PLAN
- S3.1 FLOOR FRAMING PLANS
- S3.2 STRUCTURAL DETAILS
- D1.1 FOUNDATION DETAILS
- D1.2 FOUNDATION DETAILS
- D1.3 FOUNDATION DETAILS
- D1.4 FOUNDATION DETAILS
- D2.1 FLOOR FRAMING DETAILS
- D2.2 FLOOR FRAMING DETAILS
- D3.1 ROOF FRAMING DETAILS
- SW-P SIMPSON STRONG WALL-PORTAL WALLS
- SW-1 SIMPSON STRONG WALL- SINGLE STORY WALLS
- SW-2 SIMPSON STRONG WALL- SECOND FLOOR WALLS
- SW-3 SIMPSON STRONG WALL- ALLOWABLE OPENINGS
- LANDSCAPE
- L-1.0 LANDSCAPE PLAN
- TOTAL: 81 SHEETS

PROJECT STATISTICS

SITE SUMMARY:
 LOCATION: 3366 ROCKVIEW COURT, CITY OF SAN LUIS OBISPO, COUNTY OF CALIFORNIA
 ZONE: SLR-POD
 LEGAL DESCRIPTION: PARCEL 93 OF PARCEL MAP SLO-72-375, IN THE CITY OF SAN LUIS OBISPO, IN THE COUNTY OF SAN LUIS OBISPO, IN THE STATE OF CALIFORNIA, ACCORDING TO THE MAP FILED MARCH 21, 1972, IN BOOK 11, PAGE 1 OF PARCEL MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY
 A.P.N.: 004-591-016
 MAX. LOT COVERAGE: 42% MAXIMUM LOT COVERAGE BASED ON LOT GROSS AREA
BUILDING SUMMARY:
 USE: SINGLE FAMILY RESIDENCE
 OCCUPANCY: R-3
 CONSTRUCTION: TYPE V-N, SPRINKLERED
 HEIGHT RESTRICTION: 35'
 BUILDING HEIGHT CALCULATION: HIGHEST N.S. - LOWEST H.S. = AVERAGE (E) GRADE: 267.45'
 272.20' ± 282.70' = 287.45'
 MAXIMUM BUILDING HEIGHT: 302.45'
 ACTUAL HEIGHT: 266.31' TO TOP OF ROOF SHIG. 265.11' ± 302.45' THEREFORE O.K.

PROJECT DIRECTORY

- ARCHITECT**
CRAIG R. SMITH ARCHITECT & ASSOCIATES
880 MONTEREY STREET, SUITE D
SAN LUIS OBISPO, CA 93401
P.O. BOX 1486, SLO
PH: 805-544-2330
FAX: 805-544-9959
- LANDSCAPE DESIGN**
CRAIG R. SMITH ARCHITECT & ASSOCIATES
880 MONTEREY STREET, SUITE D
SAN LUIS OBISPO, CA 93401
P.O. BOX 1486, SLO
PH: 805-544-2330
FAX: 805-544-9959
- THE DEWANEY COMPANY**
11945 LOS OROS VALLEY ROAD, SUITE 82
SAN LUIS OBISPO, CA 93426
CONTACT: KEVIN DEWANEY
PH: 805-544-2330
FAX: 805-547-1886
- GEOTECHNICAL ENGINEER**
EARTH SYSTEMS CONSULTANTS
CONTACT: KEVIN DEWANEY
1435 EAST ABERCROMBIE
SAN LUIS OBISPO, CA 93401
PH: 805-544-2676
- CIVIL ENGINEER**
ENGINEERING DEVELOPMENT ASSOCIATES
1830 NIPOMO STREET
SAN LUIS OBISPO, CA 93441
PH: 805-228-3669
FAX: 805-259-6951

SLO - ROCKVIEW - LOT 9 - APPROVED
 BUILDING PLANS
 ROCKVIEW COURT
 3366 ROCKVIEW COURT
 SAN LUIS OBISPO, CA 93401
 ANDY KETNER
 P.O. BOX 1489
 ATASCADERO, CA 93423
 TITLE SHEET
 LOT 9
 09 MAR 05
 19 MAY 04
 04 MAY 04
 01 OCT 03
 00315
 T-1.0

LEGEND:

- 2x4 WALL FRAMING @ 16" O.C.
- 2x6 WALL FRAMING OR PLUMBING WALL FRAMING @ 16" O.C.
- 2X (LAID FLAT) WALL FURRING
- ONE-HOUR RATED WALL
- 2X4 FRAMING - PARTIAL HEIGHT WALL
- C.M.U. RETAINING WALL
- 11 - DETAIL NUMBER
- A-1.0 - SHEET NUMBER
- IP - DESIGNATES THE SECTION
- A-1.0 - SHEET NUMBER
- C - WINDOW SYMBOL LETTER, REFER TO WINDOW SCHEDULE, SHEET A-3.0
- 4 - DOOR NUMBER, REFER TO DOOR SCHEDULE, SHEET A-3.0

FLOOR PLAN GENERAL NOTES:

1. VERIFY ALL APPLIANCE, FIXTURE & EQUIPMENT SIZES AND LOCATIONS W/ OWNER. PRIOR TO INSTALLATION
2. VERIFY ALL REQUIRED TEMPERED GLAZING PER SPECIFICATION SHEET A-11.0 AND PER LOCAL JURISDICTION
3. PROVIDE BUILT-IN SHOP FABRICATION PLANS AND ELEVATIONS FOR APPROVAL. PRIOR TO FABRICATION. VERIFY ALL LOCATIONS, SIZES AND CONFIGURATIONS W/ OWNER PRIOR TO FABRICATION
4. SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH NON-ABSORBENT SURFACE TO A MIN. HEIGHT OF 7'0" ABOVE DRAIN INLET. (LBC 907.1 AND 2407)
5. SUFFICIENT WOOD BLOCKING SHALL BE PROVIDED @ ALL STUDS FOR SECURING ALL ITEMS INCLUDING BUT NOT LIMITED TO COUNTERS, SHELVING, CASEWORK AND FURNITURE
6. PRIME ALL SIDES OF EXTERIOR TRIM PRIOR TO INSTALLATION
7. ALL INTERIOR DOOR HEIGHTS SHALL BE 6'-8" U.N.O. VERIFY ROUGH OPENINGS PRIOR TO FRAMING
8. ALL EXTERIOR DOOR AND WINDOW HEIGHTS SHALL BE 6'-0" U.N.O. VERIFY ROUGH OPENINGS PRIOR TO FRAMING
9. ALL ANGLES ARE AT 45° U.N.O.
10. VERIFY ALL DIMENSIONS. PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT WITH ALL DISCREPANCIES PRIOR TO CONSTRUCTION
11. SET BUILDING FOOTPRINT 8" MIN. AWAY FROM THE BUILDING SETBACK LINES TO ALLOW FOR FINISH MATERIALS
12. ALL FINISH CEILING HEIGHTS SHALL BE 4'-0" TYP. U.N.O. REFER TO FLOOR PLANS
13. PROVIDE BLOCKING @ ALL BUILT-INS AND MIRRORS
14. ALL KITCHEN UPPER CABINETS TOP SET @ 47-8" TYP.
15. GLASS WINDOWS: SHALL HAVE A MIN. NET CLEAR OPERABLE AREA OF 5.7 SQ. FT. THE MIN. NET CLEAR OPERABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE MIN. NET CLEAR FINISH WIDTH DIMENSION SHALL BE 20 INCHES. WINDOWS SHALL HAVE A FINISHED HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR PER SECTION 310.4 LBC
17. TOP OF DOOR THRESHOLD SHALL NOT EXCEED 1" FROM THE FLOOR OR LANDING. A DOOR MAY OPEN @ A LANDING THAT IS NOT MORE THAN 8" LOWER THAN THE FLOOR LEVEL. PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING. PER SECTION 1003.16

ONE HOUR RATED PROVIDED ASSEMBLIES:

U.S.C. TABLE 7-9, ITEM # 17-1.3

ONE HOUR RATED WALL:

1" DV 2" WOOD STUDS 24" ON CENTER WITH 5/8" TYPE X GYPSUM WALLBOARD APPLIED VERTICALLY OR HORIZONTALLY EACH SIDE, NAILED WITH #6 COOLER OR WALLBOARD NAILS AT 7" ON CENTER WITH END JOINTS ON NAILING MEMBERS. STAGGER JOINTS EACH SIDE.

ONE HOUR EXTERIOR RATED WALL:

PER U.S.C. TABLE 7-9 ITEM # 17-1.3:
 2" BY 4" (18" MIN BY 102" MIN) WOOD STUDS 18" (408" MIN) ON CENTER WITH 7/8" (20mm) GEMENT PLASTER, MEAS. RED FROM THE FACE OF STUDS ON THE EXTERIOR SURFACE WITH INTERIOR SURFACE TREATMENT AS REQUIRED FOR INTERIOR WOOD STUD PARTITIONS IN THIS TABLE. PLASTER MAY BE FOR BRUSH COAT AND 1.5 FOR BROWN COAT. BY VOLUME, CEMENT TO SAND.

U.S.C. TABLE 7-9, ITEM # 21-1

ONE HOUR RATED CEILING (AT GARAGE ONLY):

PROVIDE A BASE LAYER 5/8" TYPE X GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES TO JOIST OR TRUSS 24" O.C. WITH 1/2" TYPE S OR TYPE W DRYWALL SOREING 24" O.C. GAGE LAYER 5/8" TYPE X GYPSUM WALLBOARD OR VENEER BASE APPLIED AT RIGHT ANGLES TO JOIST OR TRUSS THROUGHOUT BASE LAYER WITH 1/2" TYPE S OR TYPE W DRYWALL SOREING 12" O.C. AT JOINTS AND INTERMEDIATE JOIST OR TRUSS. BASE LAYER JOISTS OFFSET 24" FROM BASE LAYER JOINTS. 1 1/2" TYPE G DRYWALL SCREWS PLACED 2" BACK ON EITHER SIDE OF EACH LAYER END JOINTS. 15 O.C.

NOTE:

IF THE SEPARATION IS A FLOOR/CEILING ASSEMBLY, THE CEILING AND ALL SUPPORTING BEAMS, POSTS AND WALL MUST BE PROTECTED PER U.S.C. 300.4 (EXCEPTION IN U.S.). THE ASSEMBLY SHALL BE A FULL 1-HR. CONSTRUCTION) THIS STRUCTURE FALLS UNDER R-3 OCCUPANCY PER U.S.C. APPENDIX S

FLOOR PLAN REFERENCE NOTES:

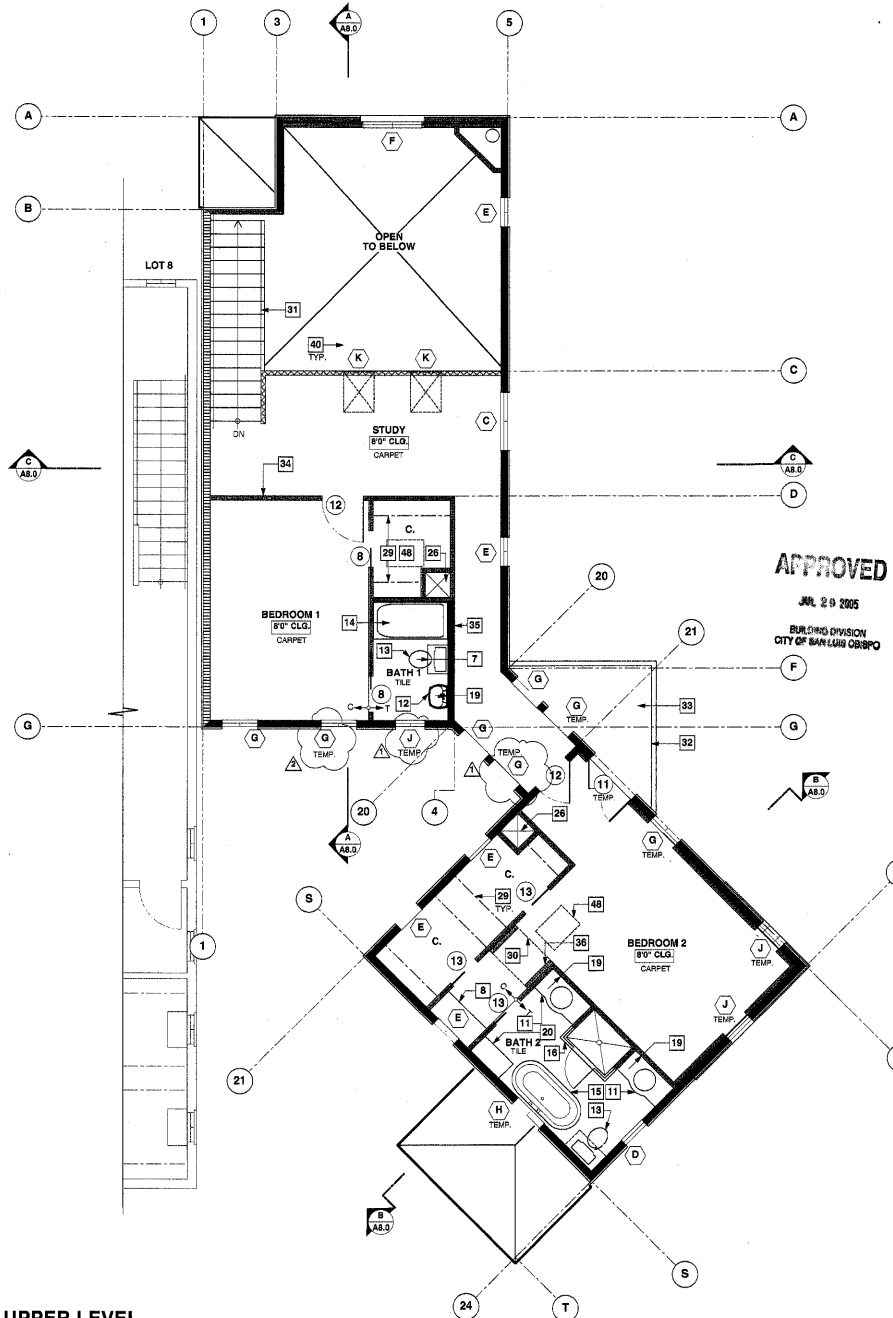
- 1 PANTRY CABINET
- 2 PROVIDE REFRIGERATOR SPACE AND ROUGH PLUMBS FOR ICE MAKER IN RECESSED WALL BOX
- 3 DOUBLE KITCHEN SINK W/ GARBAGE DISPOSAL
- 4 30" RANGE W/ MICRO WOOD LIGHT FAN & 7" V.T.R. (VENT MICRO THRU WALL WHERE COOKING) (VERIFY DIMS. W/ MFR.)
- 5 BUILT-IN DISHWASHER (VERIFY DIMS. W/ MFR.)
- 6 TRASH COMPACTOR (VERIFY DIMS. W/ MFR.)
- 7 LINE OF CABINETS ABOVE
- 8 BUILT-IN CABINETRY
- 9 +36" COUNTER
- 10 +42" BREAKFAST BAR COUNTER W/ 1'-0" KNEE CLEARANCE
- 11 +34" COUNTER
- 12 PEDESTAL SINK
- 13 LOW FLOW TOILET (1.6 GPF) LOCATED PER SEC. 2894.0 C6
- 14 TUB+SHOWER WITH FULL HEIGHT TILE SURROUND - PROVIDE ONE-PIECE WELDED TRAP PER LOCAL CODE. W/ TEMPERED GLASS ENCLOSURE
- 15 ACRYLIC TUB WITH FULL HEIGHT TILE SURROUND (NO ENCLOSURE) - PROVIDE ONE-PIECE WELDED TRAP PER LOCAL CODE. (PROVIDE ACCESS PANEL IF JETTED TUB)
- 16 TILE SHOWER W/ FULL HEIGHT SURROUND. W/ TEMP. GLASS ENCLOSURE W/ PREHANGED WELDED SHOWER PAN (REFER TO MANUFACTURER'S INSTRUCTIONS) SHALL COMPLY W/ SECTION 412.7 OF THE UNIFORM PLUMBING CODE
- 17 CERAMIC SHAMPOO SHELF
- 18 RECESSED MEDICINE CABINET W/ MIRROR
- 19 MIRROR. TOP OF MIRROR TO 48'-10"
- 20 LINEN CABINET FULL HEIGHT
- 21 WASH-ER - PROVIDE HOT & COLD WATER AND WASTE
- 22 DRYER - PROVIDE 4" Ø VENT W/ LIN. TRAP TO EXTERIOR. (VENT RUN SHALL COMPLY W/ MFR. AND SECTION 804.3 OF THE UNIFORM MECHANICAL CODE)
- 23 STACKABLE WASHER AND DRYER - REFER TO PREVIOUS NOTES
- 24 80 GAL. HOT WATER HEATER ON 1" PLATFORM W/ PAN AND OVERFLOW. INSTALL PRESSURE RELIEF VALVE W/ DRAIN TO EXTERIOR. (INSTALLATION OF WATER HEATER SHALL COMPLY WITH CHAPTER 8 OF THE UNIFORM PLUMBING CODE) FOR ADDITIONAL INFORMATION, REFER TO SHEET 1-1.2, ARCH. NOTE #4
- 25 F.A.U. ON 18" HIGH PLATFORM (INSTALLATION OF FURNACE SHALL COMPLY W/ CHAPTER 3 OF THE UNIFORM MECHANICAL CODE AND MANUFACTURER'S SPECIFICATIONS)
- 26 - VERTICAL CHASE FOR FORCED AIR DUCTS
- 27 GAS REPLACE (INSTALL PER MFR.). HEAT-N-GLO (MODEL# 6000 TRI W/ DF-7000 OPTIONAL FRONT AND REFRACTORY 21 500-31 000 BTU/HK INPUT. ANSI Z21.88-200, U.L. MH22364, COMPLY W/ NATIONAL FUEL CODE ANSI Z223.1)
- 28 PIPELACE HEARTH. (DIMENSIONS SHALL COMPLY W/ SECTION 3102.6.1 & 2 OF THE UNIFORM BUILDING CODE & MANUFACTURER'S SPECIFICATIONS)
- 29 SINGLE POLE & SHELF
- 30 LINE OF SOFFIT OR CEILING CHANGE
- 31 1 1/2" Ø HANDRAIL, TOP @ +34" - 38" REFER TO NOTES THIS SHEET
- 32 +38" HIGH GUARDRAIL, W/ 1/2" CLR. MAX BETWEEN BALUSTERS
- 33 BALCONY - SLOPE DECK 1/4" PER FOOT MINIMUM
- 34 SOUNDWALL - PROVIDE INSULATION FOR SOUNDPROOF PERFORMANCE
- 35 2X6 PLUMBING WALL
- 36 2X FURRING
- 37 PROVIDE (2) LAYERS 5/8" TYPE X GYPSUM BOARD @ CEILING OF GARAGE & ENCLOSED USEABLE SPACE UNDER STAIRS. REFER TO 1-HOUR RATED ASSEMBLIES NOTE, THIS SHEET
- 38 ONE HOUR RATED WALL W/ 2" X FURRED PLUMBING WALL - REFER TO FLOOR PLAN FOR RATED WALL ASSEMBLIES NOTES
- 39 INDICATES 5/8" TYPE X GYPSUM BOARD @ WALL BETWEEN GARAGE & RESIDENCE, BOTH SIDES OF WALL & ALSO AT TOP OF ENCLOSED USEABLE SPACE UNDER STAIRS. REFER TO 1-HR RATED ASSEMBLIES NOTE, THIS SHEET
- 40 OPENING IN CEILING FOR SKYLIGHT SHAFT
- 41 200 AMP ELECTRIC METER-METER SHALL BE RECESSED IN WALL & FRONT OF PANEL SHALL BE FLUSH W/ EXTERIOR FINISH
- 42 GAS METER
- 43 CONCRETE PATIO - FINISH W/ A SMOOTH BROOM FINISH. SLOPE TO DRAIN
- 44 RAISED DECK SLOPE TO DRAIN. REFER TO SHT. A-9.9 FOR TILE SPECIFICATION AND 341A-10.0 FOR ASSEMBLY
- 45 LINE OF FLOOR ABOVE
- 46 LINE OF TRELIS ABOVE
- 47 LINE OF BUILDING BELOW
- 48 LINE OF ATTIC ACCESS. 22"x30" MIN. OPENING. MINIMUM 30" CIRCULATION ABOVE OPENING. NO ACCESS NEEDED IN ATTICS LESS THAN 30" IN VERTICAL HT. PER CBC 1006.1
- 49 CRAWL SPACE ACCESS. 24"x30" MIN. OPENING.
- 50 ELECTRICAL SLUB-PANEL WITH SERVICE DISCONNECT

HANDRAILS/GUARDRAILS:

1. TOP OF HANDRAILS SHALL NOT BE PLACED LESS THAN 34" NOR MORE THAN 38" ABOVE LANDINGS AND THE NOSING OF TREADS. HANDRAILS SHALL BE CONTIGUOUS THE FULL LENGTH OF THE STAIRS. THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1 1/4" NOR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HANDGRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1" BETWEEN THE WALL AND THE HANDRAIL (U.S.C. 1003.3.3.9). THE END OF ALL HANDRAILS SHALL RETURN TO WALL.
2. STAIRWAYS LESS THAN 44" IN WIDTH OR STAIRWAYS SERVING ONE INDIVIDUAL DWELLING UNIT (GROUP R, DIV. 1 OR 3) MAY HAVE ONE HANDRAIL (U.S.C. 1003.3.3.6)
3. STAIRWAYS OPEN ON ONE OR BOTH SIDES SHALL HAVE GUARDRAILS
4. TOP OF GUARDRAILS @ 48" A.F.F. NOSING OF TREADS
5. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH. EXCEPTIONS: THE HANDRAIL & BOTTOM ELEMENT OF A GUARDRAIL AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH SIZE THAT A SPHERE 6" IN DIAMETER CANNOT PASS THROUGH. (U.S.C. SECTION 909)

FLOOR PLAN - UPPER LEVEL

SCALE: 1/4" = 1'-0"



890 Monterey Street, Suite 110, San Luis Obispo, CA 93401 805-544-5368

ROCKVIEW COURT
 3386 ROCKVIEW COURT
 SAN LUIS OBISPO, CA 93401

ANDY ETKO
 P.O. BOX 159
 ATASCADERO, CA 93423

FLOOR PLAN - UPPER LEVEL
 LOT 9

09 MAR 05
 19 MAY 04
 04 MAY 04
 01 OCT 03

00315
A-2.2

LEGEND:

- 2x4 WALL FRAMING @ 16" O.C.
- 2x6 WALL FRAMING OR PLUMBING WALL FRAMING @ 16" O.C.
- 2X (LAD FLAT) WALL FURRING
- ONE-HOUR RATED WALL
- 2x4 FRAMING - PARTIAL HEIGHT WALL
- C.M.U. RETAINING WALL
- 11 - DETAIL NUMBER
- A-1.0 - SHEET NUMBER
- DESIGNATES THE SECTION
- SHEET NUMBER
- WINDOW SYMBOL LETTER, REFER TO WINDOW SCHEDULE, SHEET A-3.0
- DOOR NUMBER, REFER TO DOOR SCHEDULE, SHEET A-3.0

FLOOR PLAN GENERAL NOTES:

1. VERIFY ALL APPLIANCE, FIXTURE & EQUIPMENT SIZES AND LOCATIONS W/ OWNER, PRIOR TO INSTALLATION
2. VERIFY ALL REQUIRED TEMPERED GLAZING PER SPECIFICATION SHEET A-11.0 AND PER LOCAL JURISDICTION
3. PROVIDE BUILT-IN SHOP FABRICATION PLANS AND ELEVATIONS FOR APPROVAL PRIOR TO FABRICATION. VERIFY ALL LOCATIONS, SIZES AND CONFIGURATIONS W/ OWNER PRIOR TO FABRICATION
4. SHOWER AREA WALLS SHALL BE FINISHED WITH A SMOOTH NON-ABSORBENT SURFACE TO A MIN. HEIGHT OF 7'0" ABOVE DRAIN INLET. (UBC 907.1 AND 2407)
5. SUFFICIENT WOOD BLOCKING SHALL BE PROVIDED @ ALL STUDS FOR SECURING ALL ITEMS INCLUDING BUT NOT LIMITED TO COUNTERS, SHELVING, CASEWORK AND FURNITURE
6. PRIME ALL SIDES OF EXTERIOR TRIM PRIOR TO INSTALLATION
7. ALL EXTERIOR DOOR HEIGHTS SHALL BE 6'-8" U.N.O. VERIFY ROUGH OPENINGS PRIOR TO FRAMING
8. ALL EXTERIOR DOOR AND WINDOW HEIGHTS SHALL BE 6'-0" U.N.O. VERIFY ROUGH OPENINGS PRIOR TO FRAMING
9. ALL ANGLES ARE AT 45° U.N.O.
10. VERIFY ALL DIMENSIONS, PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT WITH ALL DISCREPANCIES PRIOR TO CONSTRUCTION
11. SET BUILDING FOOTPRINT 3" MIN. AWAY FROM THE BUILDING SETBACK LINES TO ALLOW FOR FINISH MATERIALS
12. ALL FINISH CEILING HEIGHTS SHALL BE +0'-0" TYP. U.N.O. REFER TO FLOOR PLANS
13. PROVIDE BLOCKING @ ALL BUILT-INS AND MIRRORS
14. NOTE: TEMP. = TEMPERED GLAZING
15. ALL KITCHEN UPPER CABINETS TOP SET @ 47'-6" TYP.
16. GROSS WINDOWS SHALL HAVE A MIN. NET CLEAR OPENABLE AREA OF 5'7 5/8" FT. THE MIN. NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 34 INCHES. THE MIN. NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. WINDOWS SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR PER SECTION 310.4 UBC
17. TOP OF DOOR THRESHOLD SHALL NOT EXCEED 1" FROM THE FLOOR OR LANDING. A DOOR MAY OPEN @ A LANDING THAT IS NOT MORE THAN 8" LOWER THAN THE FLOOR LEVEL. PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING. PER SECTION 1006.16

ONE HOUR RATED PROVIDED ASSEMBLIES:

U.B.C. TABLE 7-9, ITEM # 17-1.3

ONE HOUR RATED WALL:

2" BY 4" WOOD STUDS 24" ON CENTER WITH 5/8" TYPE X GYPSUM WALLBOARD APPLIED VERTICALLY OR HORIZONTALLY, EACH SIDE, NAILED WITH 66 COOLER OR WALLBOARD NAILS AT 7" ON CENTER WITH END JOINTS ON NAILING EDGES. STAGGER JOINTS EACH SIDE.

ONE HOUR EXTERIOR RATED WALL:

PER U.B.C. TABLE 7-9 #18-1.3:
2" BY 4" (61 mm BY 102 mm) WOOD STUDS 18" (458 mm) ON CENTER WITH 7/8" (20mm) CEMENT PLASTER (MEAS. RED) FROM THE FACE OF STUDS) ON THE EXTERIOR SURFACE WITH INTERIOR SURFACE TREATMENT AS REQUIRED FOR INTERIOR WOOD STUD PARTITIONS IN THIS TABLE. PLASTER MIX 1:3 FOR SCRATCH COAT AND 1:5 FOR BROWN COAT. BY VOLUME, CEMENT TO SAND.

U.B.C. TABLE 7-9, ITEM # 21-1.1

ONE HOUR RATED CEILING (AT GARAGE ONLY)

PROVIDE A BASE LAYER 5/8" TYPE X GYPSUM WALLBOARD APPLIED AT RIGHT ANGLES TO JOIST OR TRUSS AND 1/2" TYPE S OR TYPE W DRYWALL SCREWS 1/4" O.C. FACE LAYER 5/8" TYPE X GYPSUM WALLBOARD OR VENEER BASE LAYER 1/2" TYPE S OR TYPE W DRYWALL SCREWS 1/4" O.C. AT JOINTS AND INTERMEDIATE JOIST OR TRUSS. FACE LAYER JOINTS OFFSET 24" FROM BASE LAYER JOINTS. 1 1/2" TYPE D DRYWALL SCREWS PLACED 2" BACK ON EITHER SIDE OF FACE LAYER END JOINTS. 12" O.C.

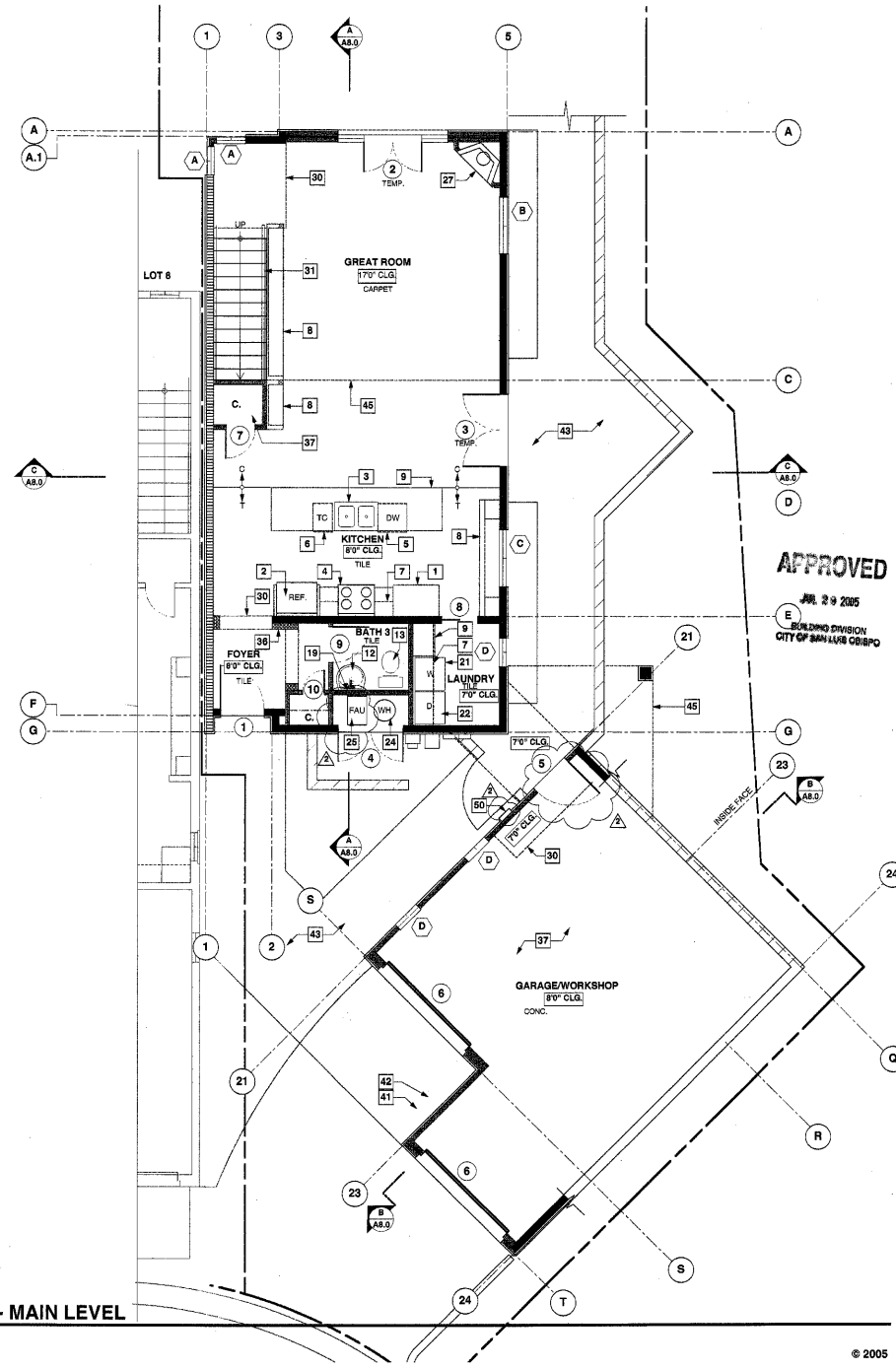
NOTE:
IF THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE CEILING AND ALL SUPPORTING BEAMS, POSTS AND WALL MUST BE PROTECTED PER U.B.C. 306.4 (EXCEPTION IN R-3 USES). THE ASSEMBLY SHALL BE A FULL 1-HR. CONSTRUCTION) THIS STRUCTURE FALLS UNDER R-3 OCCUPANCY PER U.B.C. APPENDIX S

FLOOR PLAN REFERENCE NOTES:

- 1 PANTRY CABINET
- 2 PROVIDE REFRIGERATOR SPACE AND ROUGH PLUMB FOR ICE MAKER IN RECESSED WALL BOX
- 3 DOUBLE KITCHEN SINK W/ GARBAGE DISPOSAL
- 4 30" RANGE W/MICRO HOOD, LIGHT FAN & 7" V.T.R. (VENT MICRO THRU WALL, WHERE OCCURS) (VERIFY DIMS. W/ MFR.)
- 5 BUILT-IN DISHWASHER. (VERIFY DIMS. W/ MFR.)
- 6 TRASH COMPACTOR (VERIFY DIMS. W/ MFR.)
- 7 LINE OF CABINETS ABOVE
- 8 BUILT-IN CABINETRY
- 9 +36" COUNTER
- 10 +42" BREAKFAST BAR COUNTER W/ 1'-0" KNEE CLEARANCE
- 11 +34" COUNTER
- 12 PEDESTAL SINK
- 13 LOW FLOW TOILET (1.6 GPF), LOCATED PER SEC. 294.0 CDC
- 14 TUBSHOWER WITH FULL-HEIGHT TILE SURROUND - PROVIDE ONE-PIECE WELDED TRAP PER LOCAL CODE. W/ TEMPERED GLASS ENCLOSURE
- 15 ACRYLIC TUB WITH FULL-HEIGHT TILE SURROUND (NO ENCLOSURE) - PROVIDE ONE-PIECE WELDED TRAP PER LOCAL CODE. (PROVIDE ACCESS PANEL IF JETTED TUB)
- 16 TILE SHOWER W/ FULL-HEIGHT SURROUND, W/ TEMP. GLASS ENCLOSURE, W/ PREMANUFACTURED SHOWER PAN (REFER TO MANUF. SPECS.) (STALL SHALL COMPLY W/ SECTION 412.7 OF THE UNIFORM PLUMBING CODE)
- 17 CERAMIC SHAMPOO SHELF
- 18 RECESSED MEDICINE CABINET W/ MIRROR
- 19 MIRROR, TOP OF MIRROR TO 46'-10"
- 20 LINEN CABINET FULL HEIGHT
- 21 WASH-SINK - PROVIDE HOT & COLD WATER AND WASTE
- 22 DRYER - PROVIDE #10 VENT W/ LINEN TRAP TO EXTERIOR. (VENT RUN SHALL COMPLY W/ MFR. AND SECTION 504.3 OF THE UNIFORM MECHANICAL CODE)
- 23 STACKABLE WASHER AND DRYER - REFER TO PREVIOUS NOTES
- 24 50 GAL. HOT WATER HEATER ON 1ST PLATFORM W/ PAN AND OVERFLOW. INSTALL PRESSURE RELIEF VALVE W/ DRAIN TO EXTERIOR. (INSTALLATION SHALL COMPLY WITH CHAPTER 6 OF THE UNIFORM PLUMBING CODE) FOR ADDITIONAL INFORMATION, REFER TO SHEET T-1.4, ARCH. NOTE #4
- 25 F.A.U. ON 1st HIGH PLATFORM. (INSTALLATION OF FURNACE SHALL COMPLY W/ CHAPTER 3 OF THE UNIFORM MECHANICAL CODE AND MANUFACTURER'S SPECIFICATIONS)
- 26 VERTICAL-CHASE FOR FORCED AIR DUCTS
- 27 GAS REPLACEMENT (INSTALL PER MFR.). HEAT-N-GLO (MODEL# 6000 TRI W/ DF-7000 OPTIONAL FRONT AND REFRACTORY 21,300,321 BTU/HR INPUT, ANSI Z21.88-200, U.L.# MH22584, COMPLY W/ NATIONAL PLUMBING CODE ANSI Z223.1)
- 28 PIPE/PLATE HEARTH. (DIMENSIONS SHALL COMPLY W/ SECTION 316.2.5.1 & 2 OF THE UNIFORM BUILDING CODE & MANUFACTURER'S SPECIFICATIONS)
- 29 SINGLE POLE & SHELF
- 30 LINE OF SOFFIT OR CEILING CHANGE
- 31 1 1/2" Ø HANDRAIL, TOP @ +34" - 36" REFER TO NOTES THIS SHEET
- 32 +38" HIGH GUARDRAIL, W/ 3 1/2" CLR. MAX BETWEEN BALUSTERS
- 33 BALCONY - SLOPE DECK 1/4" PER FOOT MINIMUM
- 34 SOUNDWALL - PROVIDE INSULATION FOR SOUNDPROOF PERFORMANCE
- 35 2X6 PLUMBING WALL
- 36 2X FURRING
- 37 PROVIDE (2) LAYERS 5/8" TYPE X GYPSUM BOARD @ CEILING OF GARAGE & ENCLOSED USEABLE SPACE UNDER STAIRS. REFER TO 1-HR RATED ASSEMBLIES NOTE, THIS SHEET
- 38 ONE HOUR RATED WALL W/ 2" X FURRED PLUMBING WALL - REFER TO FLOOR PLAN FOR RATED WALLS ASSEMBLIES NOTES
- 39 INDICATES 5/8" TYPE X GYPSUM BOARD @ WALL BETWEEN GARAGE & RESIDENCE, BOTH SIDES OF WALL & ALSO AT WALLS OF ENCLOSED USEABLE SPACE UNDER STAIRS. REFER TO 1-HR RATED ASSEMBLIES NOTE, THIS SHEET
- 40 OPENING IN CEILING FOR SKYLIGHT SHAFT
- 41 200 AMP ELECTRIC METER-METER SHALL BE RECESSED IN WALL & FRONT OF PANEL SHALL BE FLUSH W/ EXTERIOR FINISH
- 42 GAS METER
- 43 CONCRETE PATIO - FINISH W/ A SMOOTH BROOM FINISH. SLOPE TO DRAIN
- 44 RAISED DECK SLOPE TO DRAIN. REFER TO SHT. A-9.0 FOR TILE SPECIFICATION AND 3/4" A-10.0 FOR ASSEMBLY
- 45 LINE OF FLOOR ABOVE
- 46 LINE OF TRELIS ABOVE
- 47 LINE OF BUILDING BELOW
- 48 LINE OF ATTIC ACCESS, 22"x30" MIN. OPENING. MINIMUM 30" CIRCULATION ABOVE OPENING. NO ACCESS NEEDED IN ATTICS LESS THAN 30" IN VERTICAL HT. PER CODE 1006.1
- 49 CRAWL SPACE ACCESS, 24"x30" MIN. OPENING
- 50 ELECTRICAL SUB-PANEL WITH SERVICE DISCONNECT

HANDRAILS/GUARDRAILS:

1. TOP OF HANDRAILS SHALL NOT BE PLACED LESS THAN 34" NOR MORE THAN 38" ABOVE LANDINGS AND THE NOSE OF TREADS. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1 1/4" NOR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HANDGRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL (U.B.C. 1003.3.3.6). THE END OF ALL HANDRAILS SHALL RETURN TO WALL.
2. STAIRWAYS LESS THAN 44" IN WIDTH OR STAIRWAYS SERVING ONE INDIVIDUAL DWELLING UNIT (GROUP R, DIV. 1 OR 3) MAY HAVE ONE HANDRAIL (U.B.C. 1003.3.3.6)
3. STAIRWAYS OPEN ON ONE OR BOTH SIDES SHALL HAVE GUARDRAILS.
4. TOP OF GUARDRAILS - +38" A.F.F. NOSING OF TREADS
5. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH. EXCEPTIONS: THE TRIANGULAR OPENING FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH SIZE THAT A SPHERE 6" IN DIAMETER CANNOT PASS THROUGH. (U.B.C. SECTION 609)



FLOOR PLAN - MAIN LEVEL
SCALE: 1/4" = 1'-0"

APPROVED
JUL 29 2005
ENGINEERING DIVISION
CITY OF SAN LUIS OBISPO

800 Monterey Street, Suite 13, San Luis Obispo, CA 93401 805-944-5588

CRIGGS WITH
ARCHITECTURE & ASSOCIATES

MEMBER
NATIONAL BOARD OF ARCHITECTS

ROCKVIEW COURT
3366 ROCKVIEW COURT
SAN LUIS OBISPO, CA 93401

ANDY EYTKO
C.O. BOX 159
ATASCADERO, CA 93423

FLOOR PLAN - MAIN LEVEL
LOT 9

09 MAR 05
19 MAY 04
04 MAY 04
01 OCT 03

00315

A-2.1